

GENERAL NOTES

- All Work shall be performed in accordance with the IRC 2012, and all other applicable codes, regulations and ordinances as adopted and/or modified by the District of Columbia DCMR 2013.
- All Electrical work to be performed in accordance with the National Electrical Code and the District of Columbia code.
- Dimensions and Notes for a given condition are typical for all similar conditions unless otherwise stated.
- Drawings at a larger scale shall take precedence over drawings of a smaller scale. Notify Architect immediately if a discrepancy should be found.
- Existing walls, columns, floor/ceiling assemblies, etc. are shown unrendered on the plans and sections. Elevations show existing elements - windows, doors, roofs, etc. as unrendered outline (new work is shown rendered).
- General Contractor to keep disturbances in existing house to a minimum.
- Protect existing planting during construction with erosion control type fence. Do not remove any trees or shrubs without prior approval of owner. Protect existing driveway from abuse, any damage should be repaired at the expense of the contractor. Provide conveniently located refuse barrels and maintain for workman use.
- General Contractor to inspect existing electrical service and notify Owner and Architect if upgrading is required by code or with the proposed addition/renovation.
- General Contractor to ensure flush transition from existing work to new work.
- All wall surfaces are to be made flush and smooth prior to painting or installation of wallcovering.
- Verify all measurements and dimensions prior to beginning and throughout progress of Work. Consult Architect for resolution of any discrepancy in measurements or dimensions.
- Prior to cutting or drilling affecting structural members not indicated, submit written notice to Architect specifying location and requesting consent to proceed with cutting or drilling. Contractor shall do cutting and drilling of existing construction required for installation of new work, including cutting of holes for new electrical work. Cover openings temporarily when not in use and patch as soon as work is installed. Refinish all affected areas to their original condition.
- Coordinate the unloading and safe storage of Owner delivered material on site (case work, equipment, etc.). Installation of Owner delivered material is to be included in the base bid (unless noted otherwise).

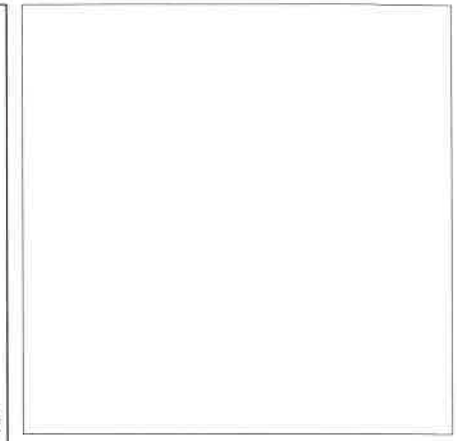
PROJECT TEAM

OWNER

ARCHITECT

Outerbridge Horsey Associates, PLLC
1228 1/2 31st Street, NW
Washington, DC 20007

Contact: Outerbridge Horsey, AIA
Tel 202.337.7334
oh@outerbridgehorsey.com



1511 33RD STREET NW

Washington, D.C. 20007

LOT DESCRIPTION:	Square 1255 , Lot 814	ZONING CRITERIA	REQUIRED	PROVIDED
ADDRESS:	1511 33rd Street, N.W. Washington, DC 20007	MIN. LOT WIDTH:	20 FT	20.01 FT
LOT AREA:	1,768 SF	MIN. LOT AREA:	2,000 SF	1,768 sq
ZONING DISTRICT:	R-20	MAX. OCCUPANCY:	60%	
BUILDING TYPE:	Attached	MAX. BUILDING AREA:		
		MAX. STORIES:	3	
		MAX. HEIGHT:	N/A	
		SIDE YARD SETBACK:	N/A	
		REAR YARD SETBACK:	20 FT	
		PERVIOUS SURFACES:		
		MIN. % PERVIOUS (R-20)	20%	

SPECIAL NOTE

Existing conditions shown or implied are based on best available but limited information. If conditions are encountered that differ from those shown, noted or implied, all work in that specific area is to stop and the Architect is to be notified. No work is to continue in such areas without the permission of the Architect.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for all dimensions and conditions on the job and the Architect must be notified of any variation from the dimensions and conditions shown by these drawings.

The above drawings and specifications and the ideas, designs and arrangements represented thereby are, and shall remain the property of the architect. No part thereof shall be copied, disclosed to others, or used in connection with any other work or project by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings shall constitute conclusive evidence of acceptance of these restrictions.

The professional seal is for certification of new work only and is not intended for general certification of pre-existing conditions.

OUTERBRIDGE HORSEY ASSOCIATES, PLLC

1228 1/2 31st STREET, NW
WASHINGTON, DC 20007
TEL 202-337-7334
FAX 202-337-7331
www.outerbridgehorsey.com

CONSULENS

DEMOLITION NOTES

- Coordinate removal of personal belongings or furnishings from affected areas with owner.
- Protect all interior walls, doors, trim, ceilings, and floors from unnecessary damage during demolition.
- Phase all work to achieve minimum disturbance in work areas. Protect unaffected areas from dust, dirt and noise.
- Salvage equipment, fixtures, counters, cabinets and doors as required by the contract drawings. Reuse as directed on drawings.
- All doors and windows to be salvaged for course of job. Those not reused should be removed by G.C. at end of job as directed by Owner. See door and window schedules for those salvaged and relocated.
- Remove all miscellaneous protrusions in walls, floors, ceilings, windows and doors including, but not limited to nails, hooks, vines, door bells, etc. on first floor.
- The Contractor shall arrange for the proper discontinuance and/or relocation of all public utilities when required, including sewers, water, gas, electric, television, and telephone lines.
- Existing plumbing hook-ups to be shut off immediately prior to demolition work at each location.
- Cap off all abandoned waste and supply lines below floor level, patch where necessary.
- Brace structure as necessary during demolition to prevent structural damage and excessive movement. Protect the existing exterior walls, roof(s), and trim from damage during demolition.
- Prior to cutting or drilling affecting structural members not indicated, submit written notice to Architect specifying location and requesting consent to proceed with cutting or drilling. Contractor shall do no cutting and drilling of existing construction required for installation of new work, including cutting of holes for new electrical work. Cover openings temporarily when not in use and patch as soon as work is installed. Refinish all affected areas to their original condition.
- Contractor shall receive title to materials to be demolished, title shall vest to Contractor upon execution of the Contract. Owner will not be responsible for the condition, loss or damage to material after execution of Contract.
- Debris shall not accumulate on site. Sale or burning of material on site is prohibited. Site and adjacent areas shall be kept clean and free from mud, dirt, and debris at all times.
- Verify all measurements and dimensions prior to beginning and throughout progress of Work. Consult Architect for resolution of any discrepancy in measurements or dimensions.



FRONT VIEW ON 1511 33RD STREET NW

LIST OF DRAWINGS

SHEET	TITLE
0001	COVER SHEET
0002	EXISTING AND PROPOSED SITE PLANS
C001	SOIL AND EROSION CONTROL PLAN AND NOTES
D100	DEMO PLANS
D200	EXISTING ELEVATION
A100	PROPOSED PLANS
A200	PROPOSED ELEVATION
A300	BUILDING SECTIONS
A400	WALL SECTION
A700	WINDOW AND DOOR DETAILS
S100	STRUCTURAL NOTES AND PLANS
MEP100	MECHANICAL AND ELECTRICAL PLANS
P100	SANITARY & DOMESTIC WATER RISER DIAGRAMS



1511 33RD STREET NW

Washington, DC 20001

DRAWING TITLE

COVER

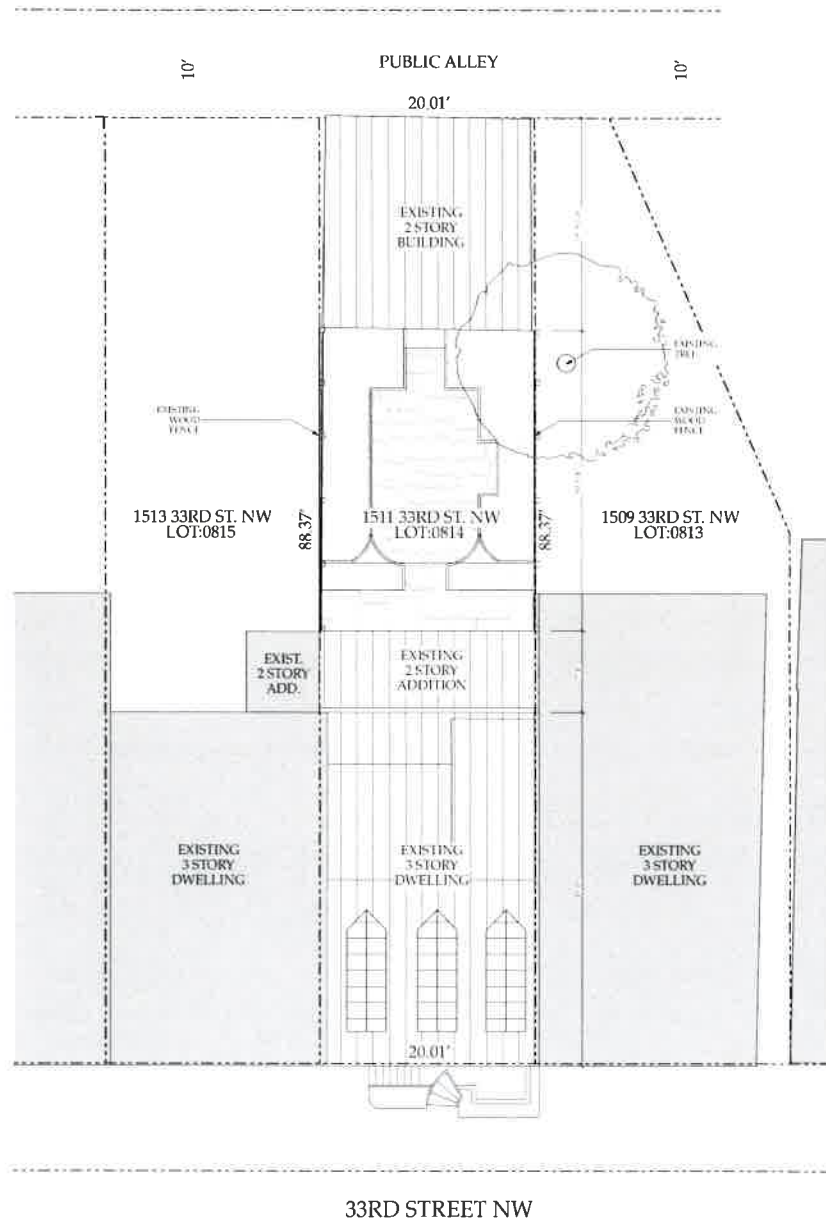
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PERMITS	11/21/18

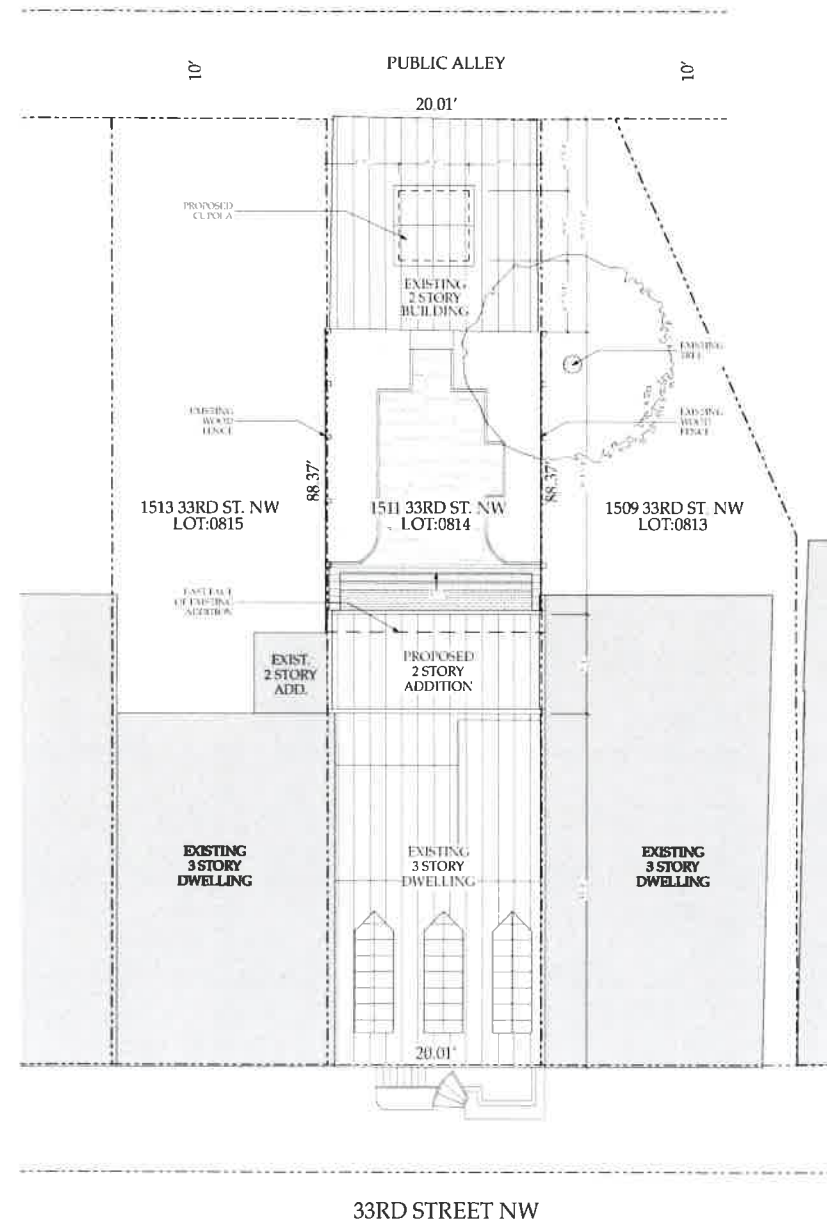
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SHEET NO.

Board of Zoning Adjustment
District of Columbia
CASE NO.20081
EXHIBIT NO.6



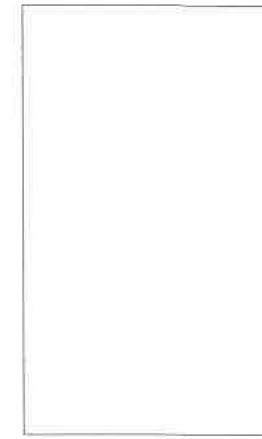
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SCALE 1/8" = 1'-0"



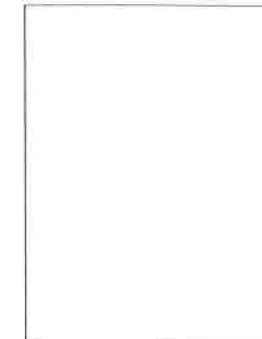
2 PROPOSED SITE PLAN
SCALE 1/8" = 1'-0"

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OUTERBRIDGE
HORSEY
ASSOCIATES, PLLC
1228 1/2 31st STREET, NW
WASHINGTON, DC 20007
TEL 202-337-7334
FAX 202-337-7331
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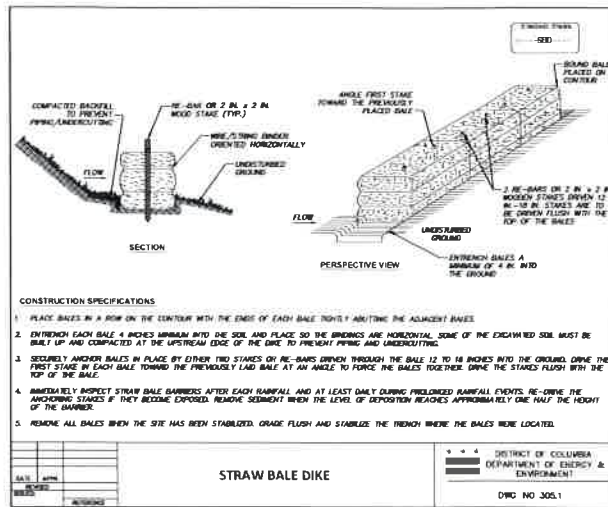
DRAWING TITLE
**EXISTING AND
PROPOSED SITE
PLANS**
SCALE AS NOTED

ISSUE	DATE
PERMIT SET	11/21/18

PRINT DATE 11/21/18

SHEET NO
0002

DDOE SOIL EROSION AND SEDIMENT CONTROL PLAN GENERAL NOTES	
1.	Following initial land disturbance or re-disturbance, permanent or interim stabilization must be completed within seven (7) calendar days for the surfaces of all perimeter controls, dikes, swales, ditches, perimeter slopes, and slopes greater than three (3) horizontal to one (1) vertical (3:1); and fourteen (14) days for all other disturbed or graded areas on the project site. These requirements do not apply to areas shown on the plan that are used for material storage other than stockpiling, or for those areas on the plan where actual construction activities are being performed. Maintenance shall be performed as necessary so that stabilized areas continuously meet the appropriate requirements of the District of Columbia Standards and Specifications for Soil Erosion and Sediment Control (ESC). [21 DCMR § 542.9 (a)]
2.	ESC measures shall be in place before and during land disturbance. [21 DCMR § 543.6]
3.	Contact DDOE Inspection (202) 535-2977 to schedule a preconstruction meeting at least three (3) business days before the commencement of a land-disturbing activity. [21 DCMR § 503.7 (a)]
4.	A copy of the approved plan set will be maintained at the construction site from the date that construction activities begin to the date of final stabilization and will be available for DDOE inspectors. [21 DCMR § 542.15]
5.	ESC measures shall be in place to stabilize an exposed area as soon as practicable after construction activity has temporarily or permanently ceased but no later than fourteen (14) days following cessation, except that temporary or permanent stabilization shall be in place at the end of each day of underground utility work that is not contained within a larger development site. [21 DCMR § 543.7]
6.	Stockpiled material being actively used during a phase of construction shall be protected against erosion by establishing and maintaining perimeter controls around the stockpile. [21 DCMR § 543.16 (a)]
7.	Stockpiled material not being actively used or added to shall be stabilized with mulch, temporary vegetation, hydro-seed or plastic within fifteen (15) calendar days after its last use or addition. [21 DCMR § 543.16 (b)]
8.	Protect best management practices from sedimentation and other damage during construction for proper post construction operation. [21 DCMR § 543.5]
9.	Request a DDOE inspector's approval after the installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. [21 DCMR § 542.12 (a)]
10.	Request a DDOE inspector's approval after final stabilization of the site and before the removal of erosion and sediment controls. [21 DCMR § 542.12 (b)]
11.	Final stabilization means that all land-disturbing activities at the site have been completed and either of the following two criteria have been met: (1) a uniform (for example, evenly distributed, without large bare areas) perennial vegetative cover with a density of seventy percent (70%) of the native background vegetative cover for the area has been established on all unpaved areas and areas not covered by permanent structures, or (2) equivalent permanent stabilization measures have been employed (such as the use of riprap, gabions, or geotextiles). [21 DCMR § 542.12 (b.1, b.2)]
12.	Follow the requirements of the United States Environmental Protection Agency approved Stormwater Pollution Prevention Plan (SWPPP) and maintain a legible copy of this SWPPP on site. [21 DCMR § 543.10 (b)]
13.	Post a sign that notifies the public to contact DDOE in the event of erosion or other pollution. The sign will be placed at each entrance to the site or as directed by the DDOE inspector. Each sign will be no less than 18 x 24 inches in size and made of materials that will withstand weather for the duration of the project. Lettering will be at least 1 inch in height and easily readable by the public from a distance of twelve feet (12 ft). The sign must direct the public, in substantially the following form: "To Report Erosion, Runoff, or Stormwater Pollution" and will provide the construction site address, DDOE's telephone number (202-535-2977), DDOE's e-mail address (IEB.scheduling@dc.gov), and the 311 mobile app heading ("Construction-Erosion Runoff"). [21 DCMR § 543.22]
If a site disturbs 5,000 square feet of land or greater, the ESC plan must contain the following statement:	
14.	A Responsible Person must be present or available while the site is in a land-disturbing phase. The Responsible Person is charged with being available to (a) inspect the site and its ESC measures at least once biweekly and after a rainfall event to identify and remedy each potential or actual erosion problem, (b) respond to each potential or actual erosion problem identified by construction personnel, and (c) speak on site with DDOE to remedy each potential or actual erosion problem. A Responsible Person shall be (a) licensed in the District of Columbia as a civil or geotechnical engineer, a land surveyor, or architect; or (b) certified through a training program that DDOE approves, including a course on erosion control provided by another jurisdiction or professional association. During construction, the Responsible Person shall keep on site proof of professional licensing or of successful completion of a DDOE-approved training program. [21 DCMR § 547]

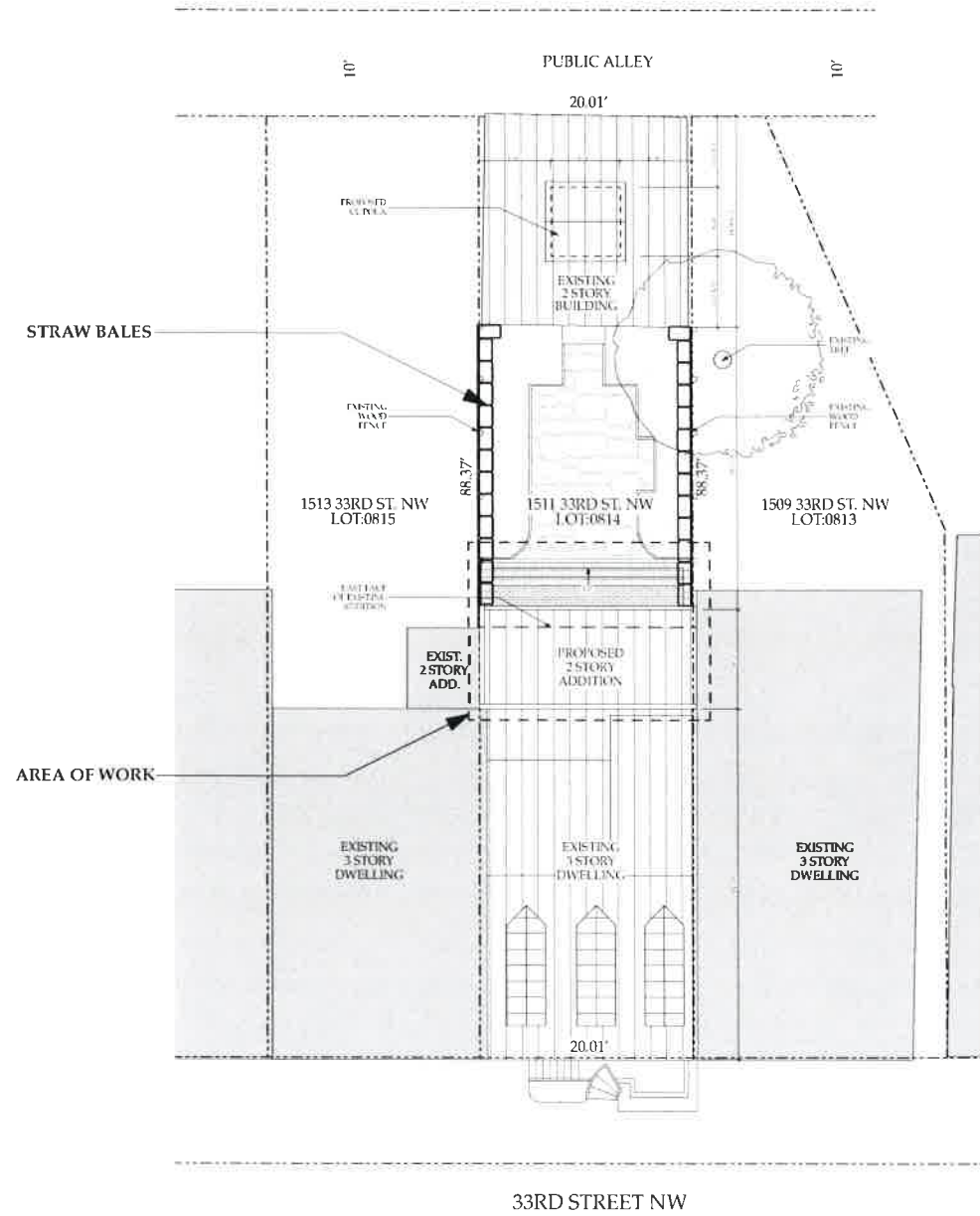


GENERAL NOTE:
GENERAL CONTRACTOR SHALL CONTACT THE DEPARTMENT OF ENERGY AND THE ENVIRONMENT AT 202-535-2977 TO SCHEDULE A PRE-CONSTRUCTION MEETING BEFORE THE COMMENCEMENT OF A LAND DISTURBING ACTIVITY

AREA OF DISTURBANCE:
493 SQ. FT.

EXCAVATION VOLUME:
35.27 CU. YDS.

PROJECT NARRATIVE:
1. CONSTRUCTION SITE IS BOUND ON THE EAST AND WEST BY EXISTING STRUCTURES TO REMAIN.
2. INSTALL STRAW BALES ALONG EXISTING NORTH AND SOUTH WOOD FENCE.
3. DEMOLISH EXISTING PORCH, INSTALL NEW FOUNDATIONS AND PORCH ADDITION.
4. AFTER COMPLETION OF ADDITION, REMOVE STRAW BALES.



1 PROPOSED SOIL AND EROSION PLAN
SCALE 1" = 1'-0"

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1228 1/2 31st STREET, NW
WASHINGTON, DC 20007
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FAX 202-337-7331
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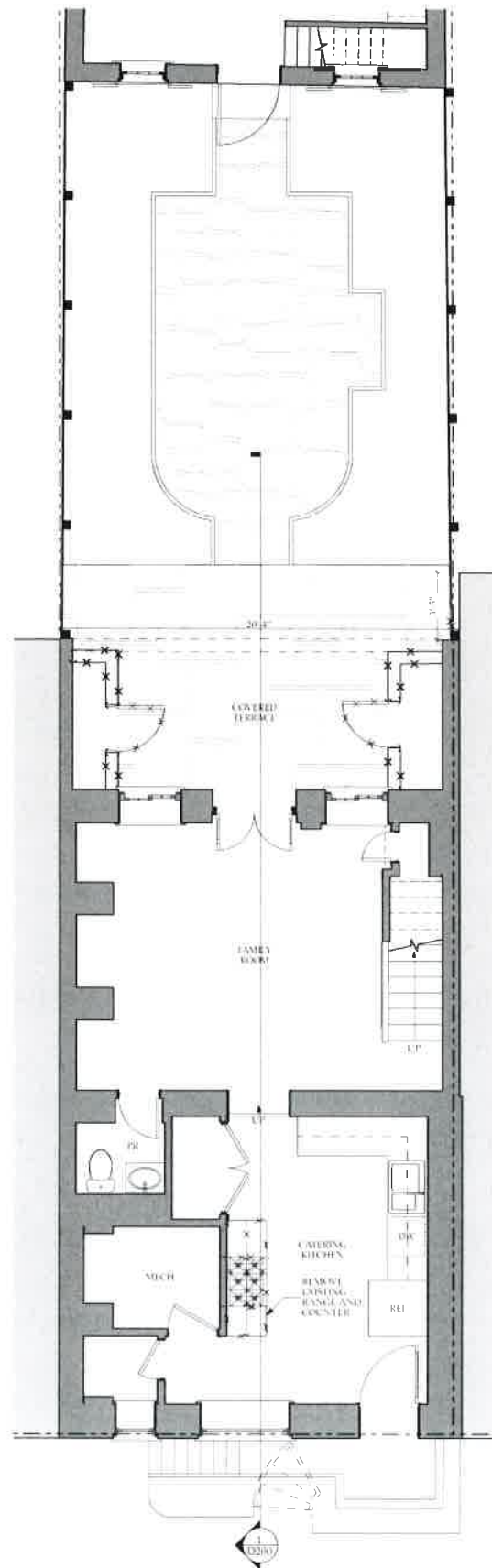
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DRAWING TITLE
SOIL AND
EROSION PLAN
AND NOTES
SCALE AS NOTED

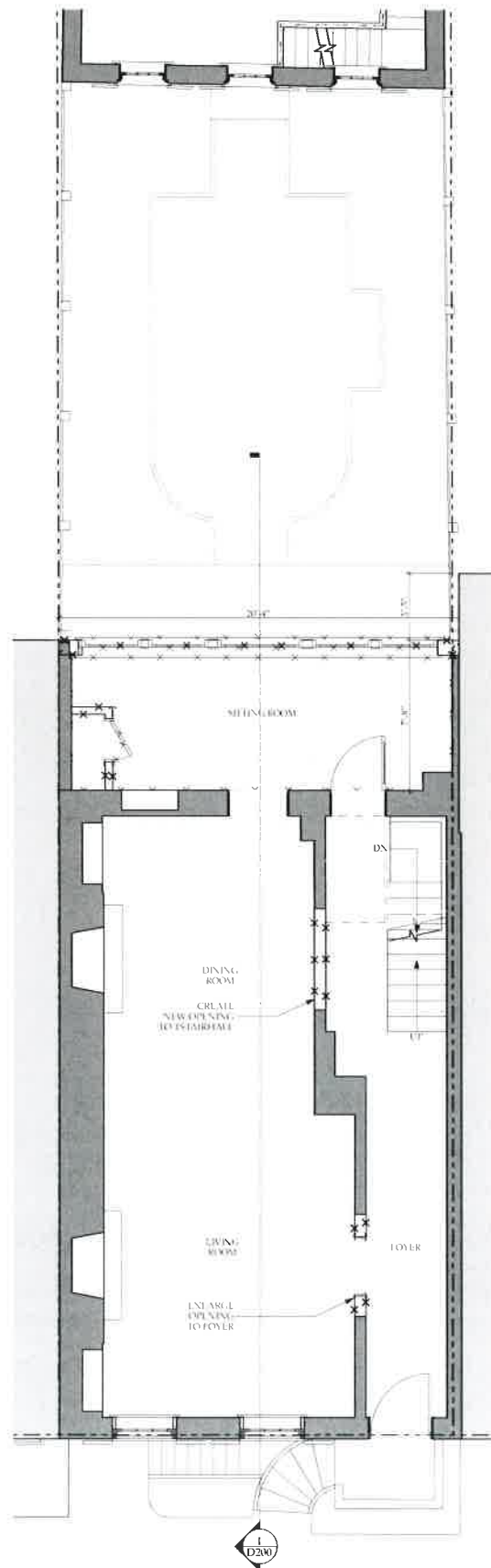
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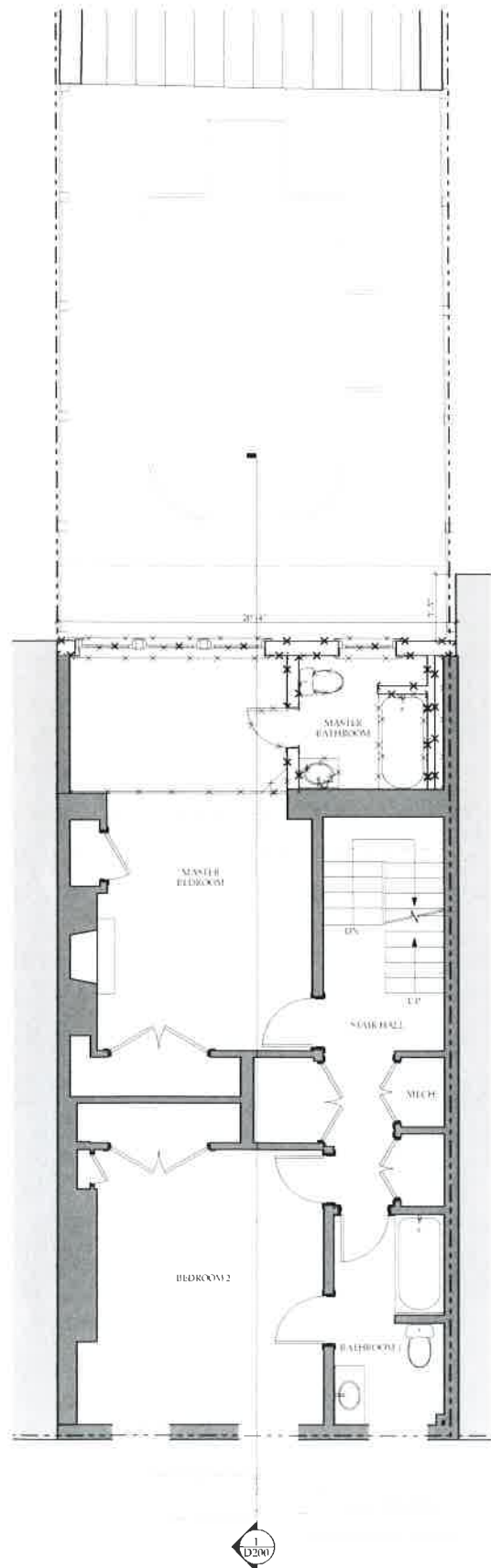
C001



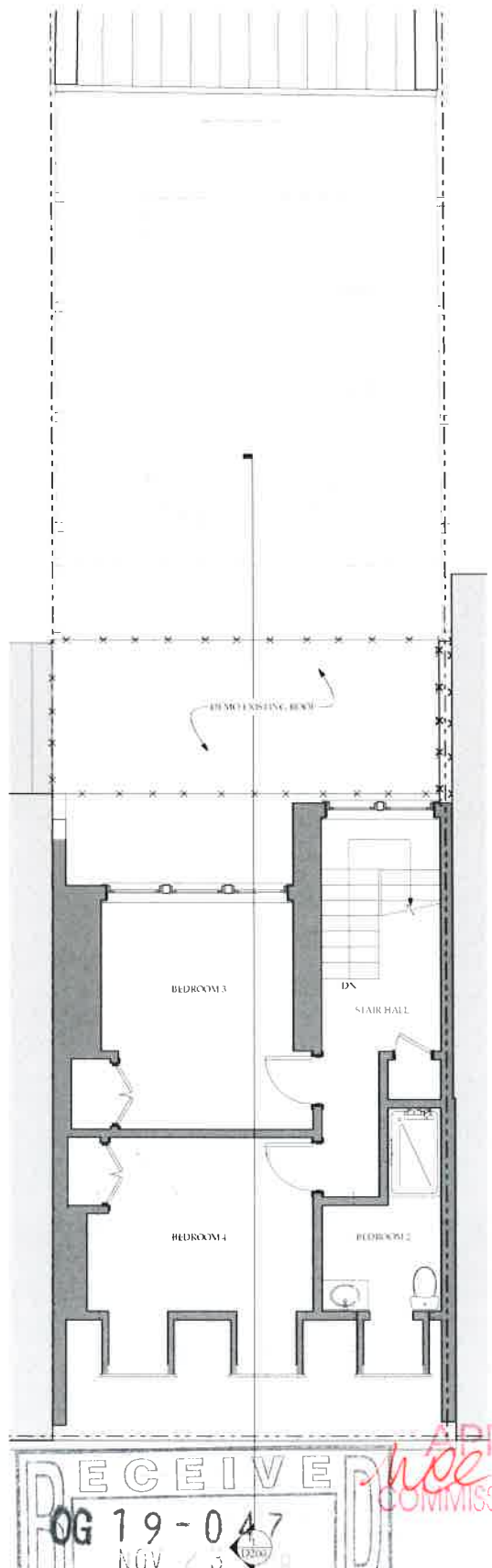
1 DEMO BASEMENT PLAN
SCALE 1/4" = 1'-0"



2 DEMO FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



3 DEMO SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



4 DEMO THIRD FLOOR/ROOF PLAN
SCALE 1/4" = 1'-0"

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HORSEY
ASSOCIATES, PLLC
1228 1/2 31st STREET, NW
WASHINGTON, DC 20007
TEL 202-337-7334
FAX 202-337-7331
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DEMO PLANS

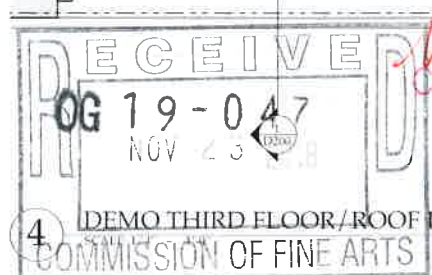
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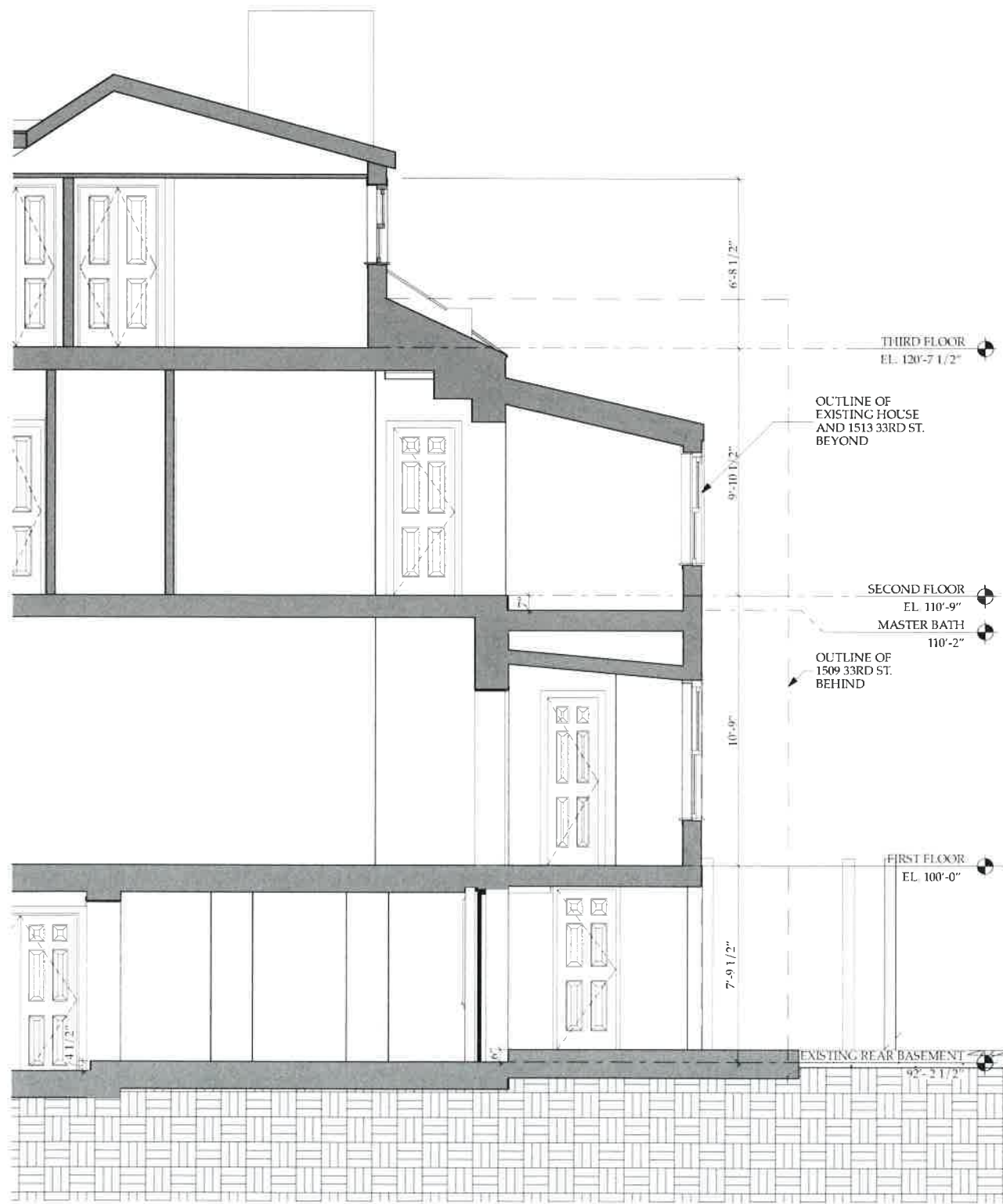
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D100



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1 EXISTING BUILDING SECTION
SCALE: 1/8" = 1'-0"



2 EXISTING EAST ELEVATION
SCALE: 1/8" = 1'-0"

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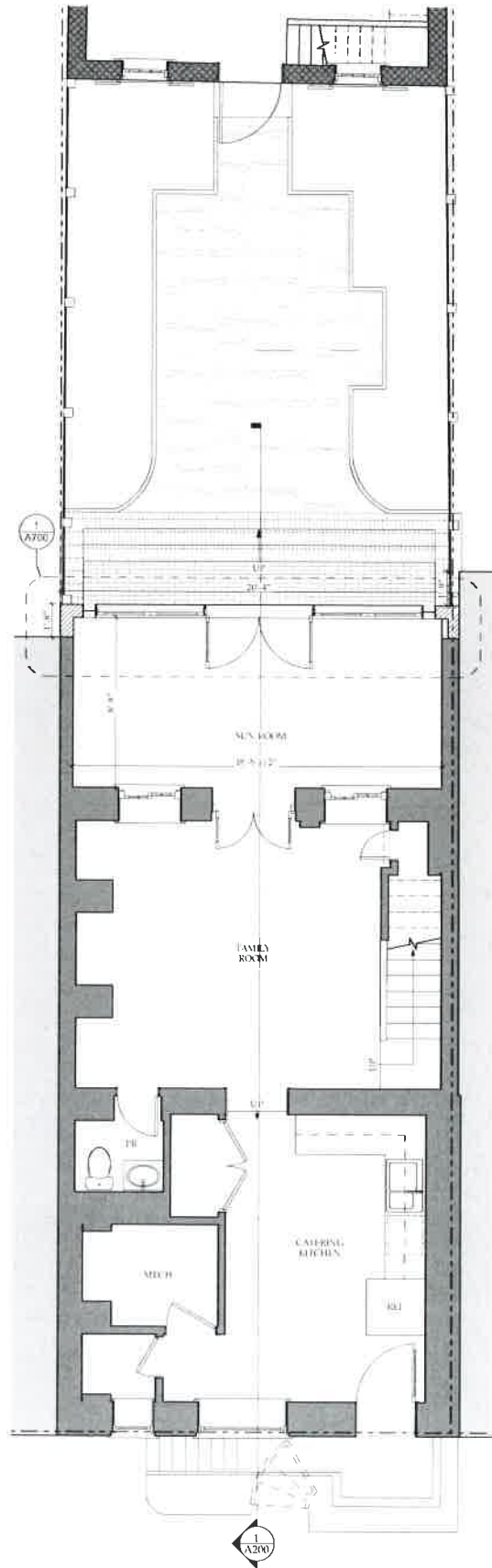
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ELEVATION
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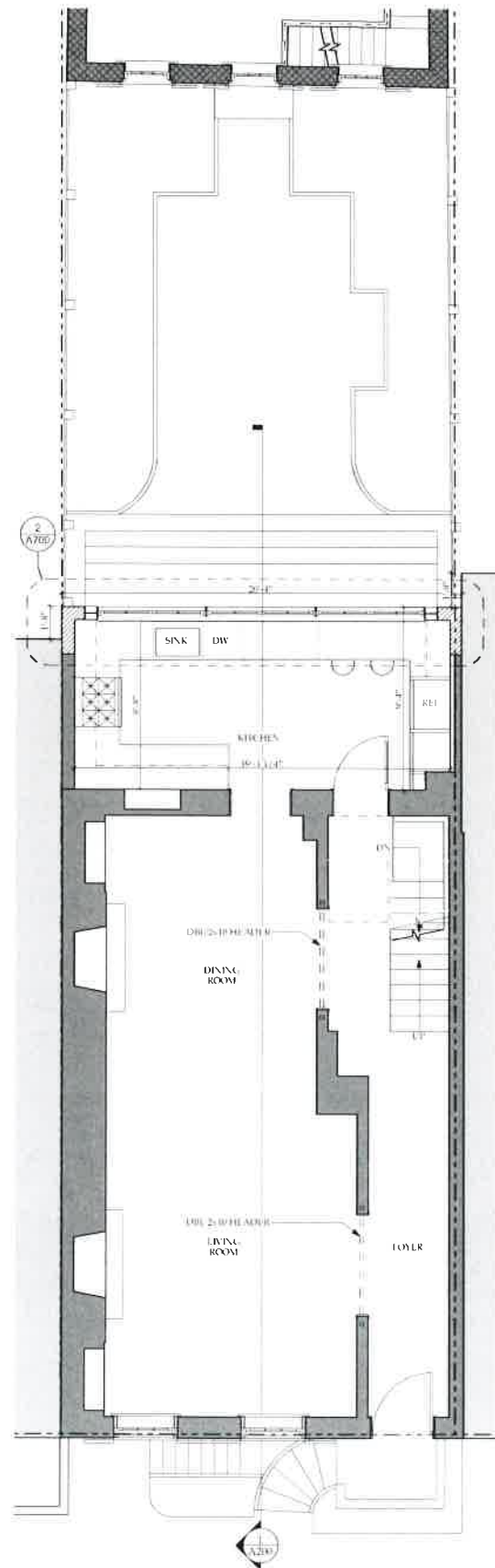
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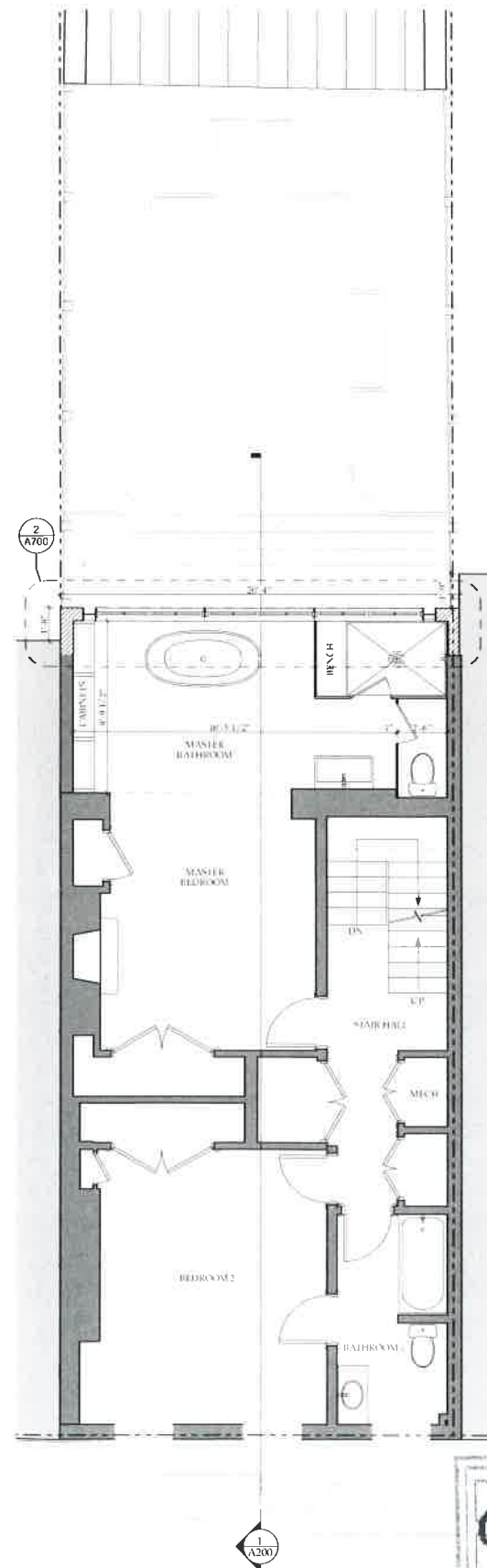
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D200



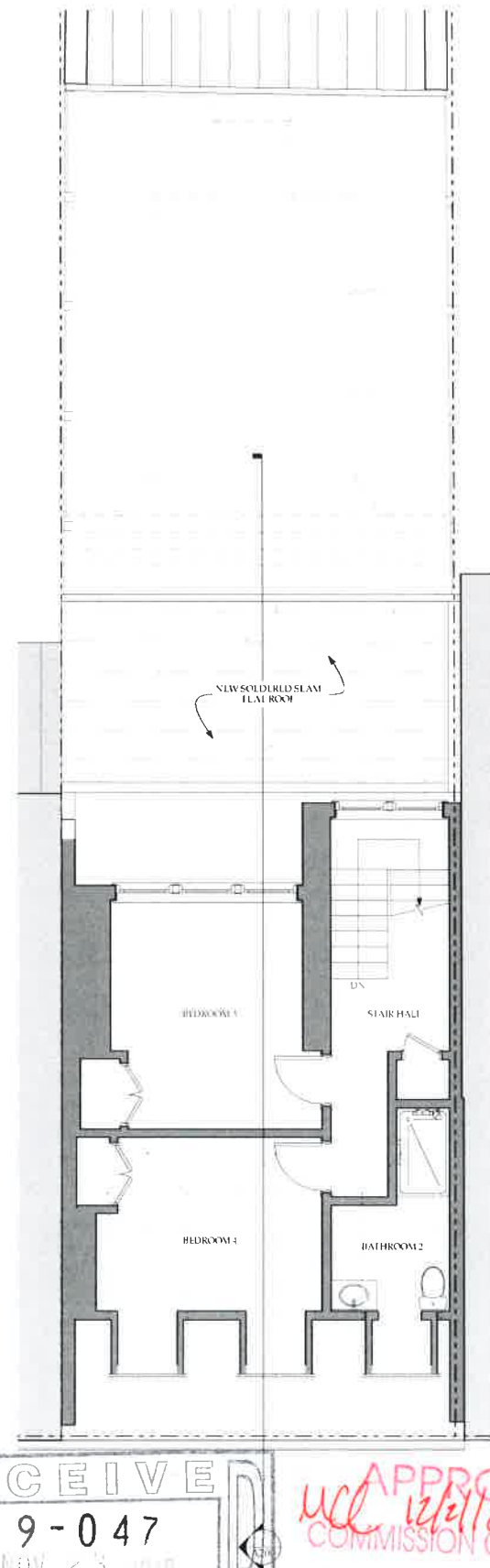
1 PROPOSED BASEMENT PLAN
SCALE 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



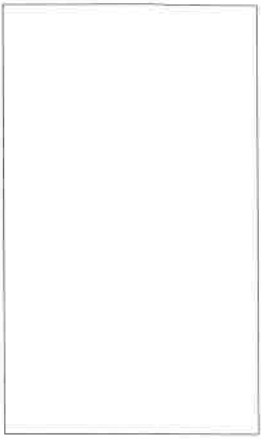
3 PROPOSED SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



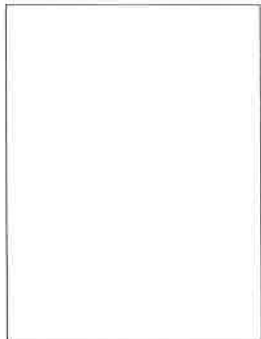
4 PROPOSED THIRD FLOOR PLAN
SCALE 1/4" = 1'-0"

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HORSEY
ASSOCIATES, PLLC
1228 1/2 31st STREET, NW
WASHINGTON, DC 20007
TEL 202-337-7334
FAX 202-337-7331
www.outerbridgehorsey.com
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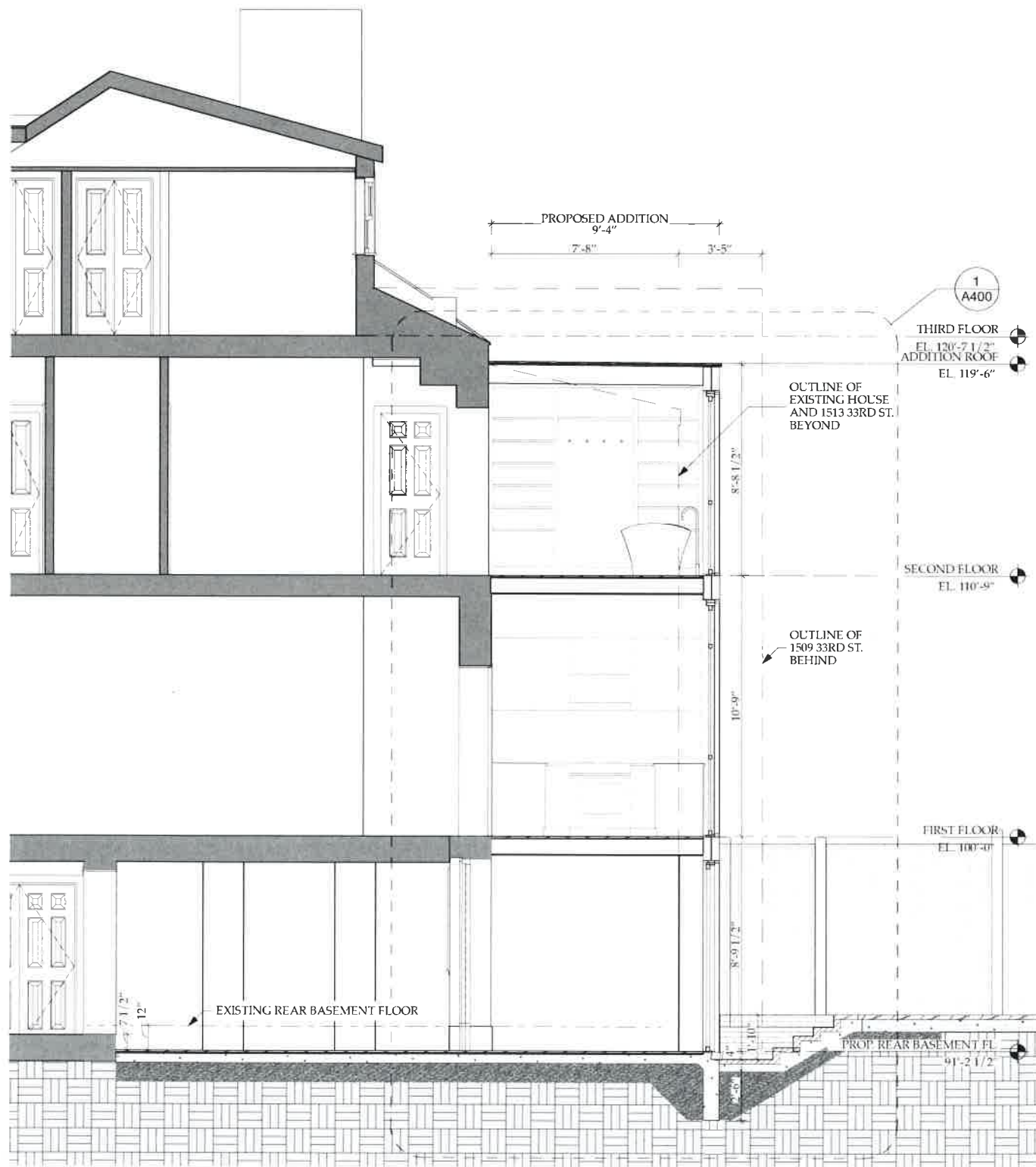
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**PROPOSED
PLANS**
SCALE AS NOTED

ISSUE	DATE
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A100



1 PROPOSED BUILDING SECTION
SCALE 3/8" = 1'-0"



2 PROPOSED EAST ELEVATION
SCALE 3/8" = 1'-0"

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 1513 33RD. ST. OUTLINE OF 4x4 CONCRETE FOOTING

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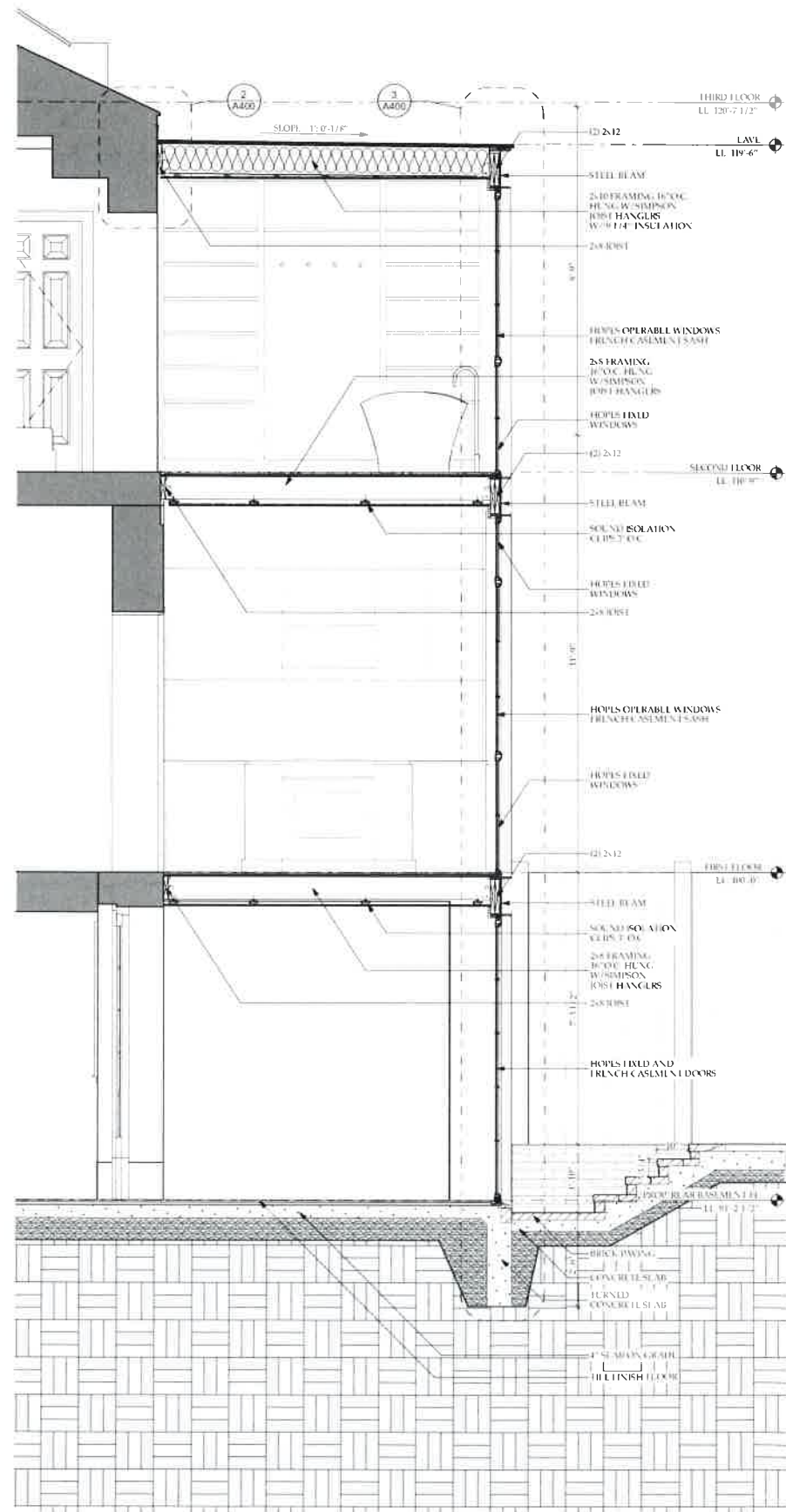
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PROPOSED SECTION AND ELEVATION

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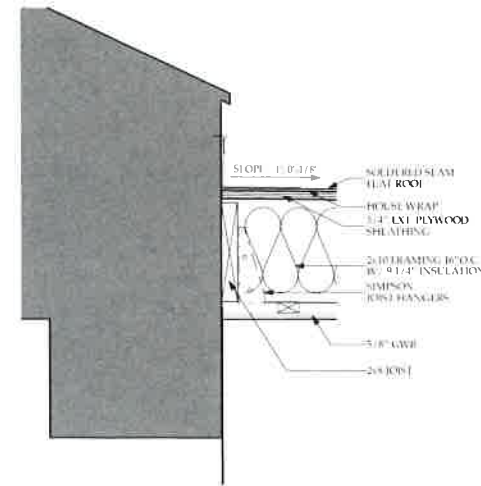
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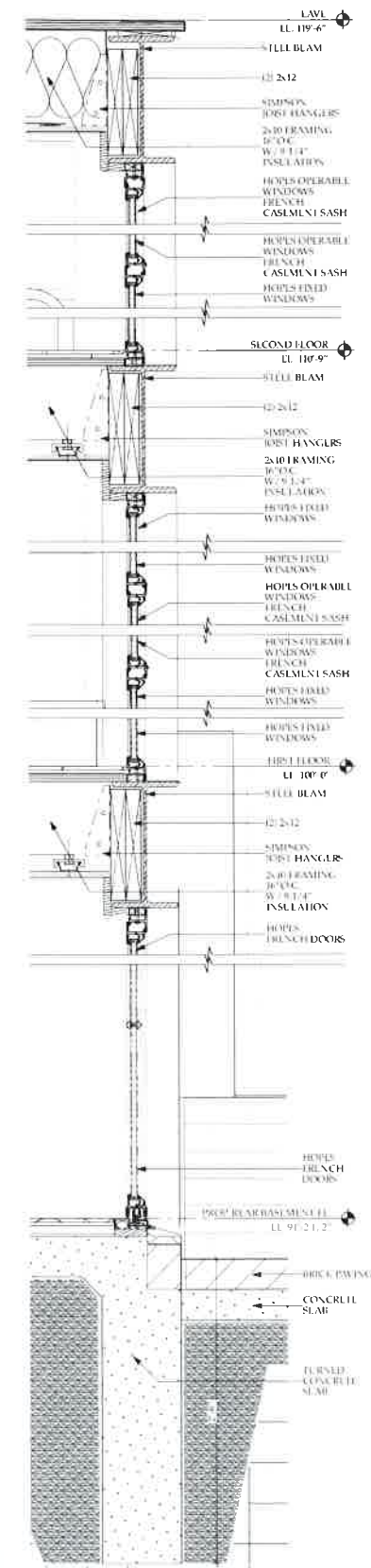
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1 ENLARGED SECTION THROUGH ADDITION
SCALE: 1/2" = 1'-0"



2 ADDITION ROOF DETAIL
SCALE: 1/2" = 1'-0"



3 WALL SECTION
SCALE: 1/2" = 1'-0"



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WALL SECTIONS

SCALE AS NOTED

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A400



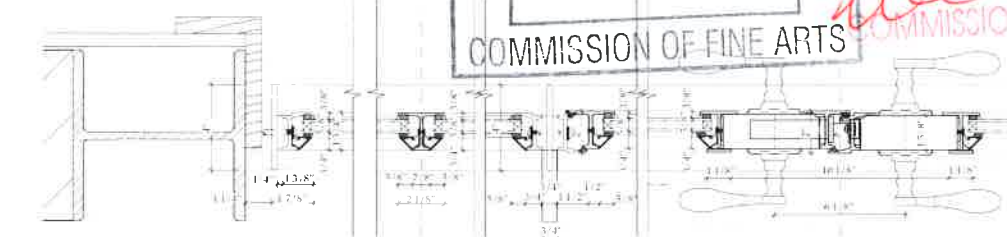
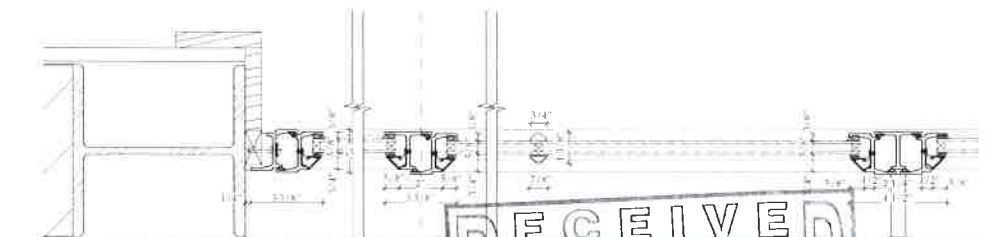
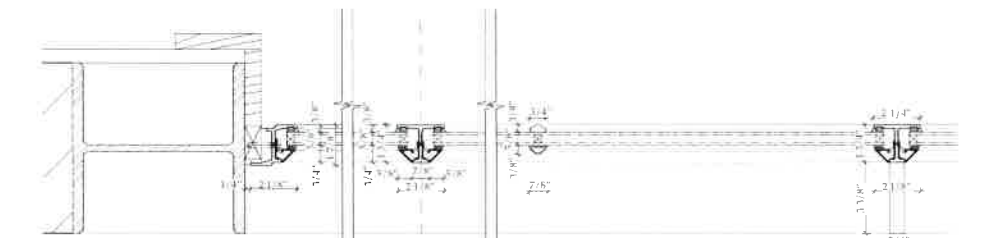
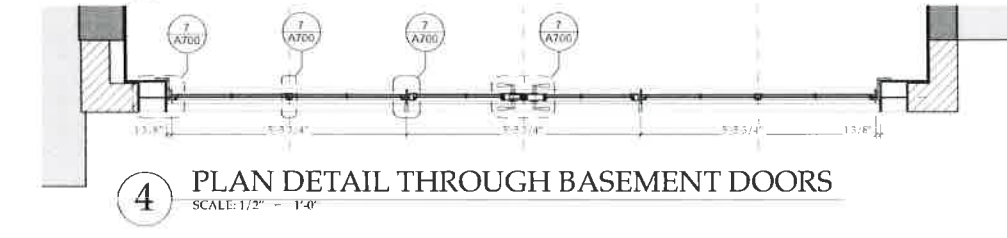
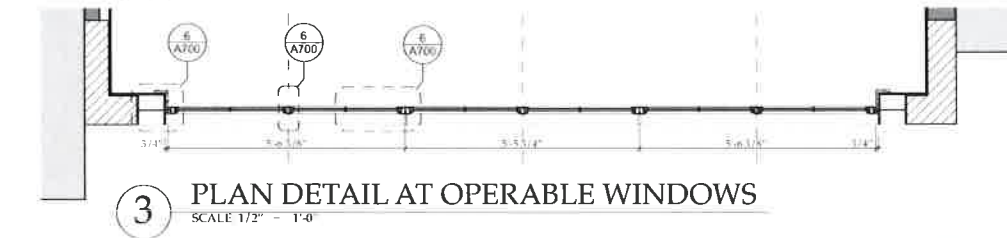
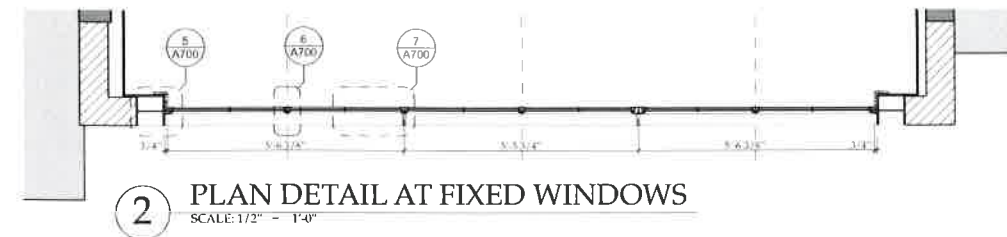
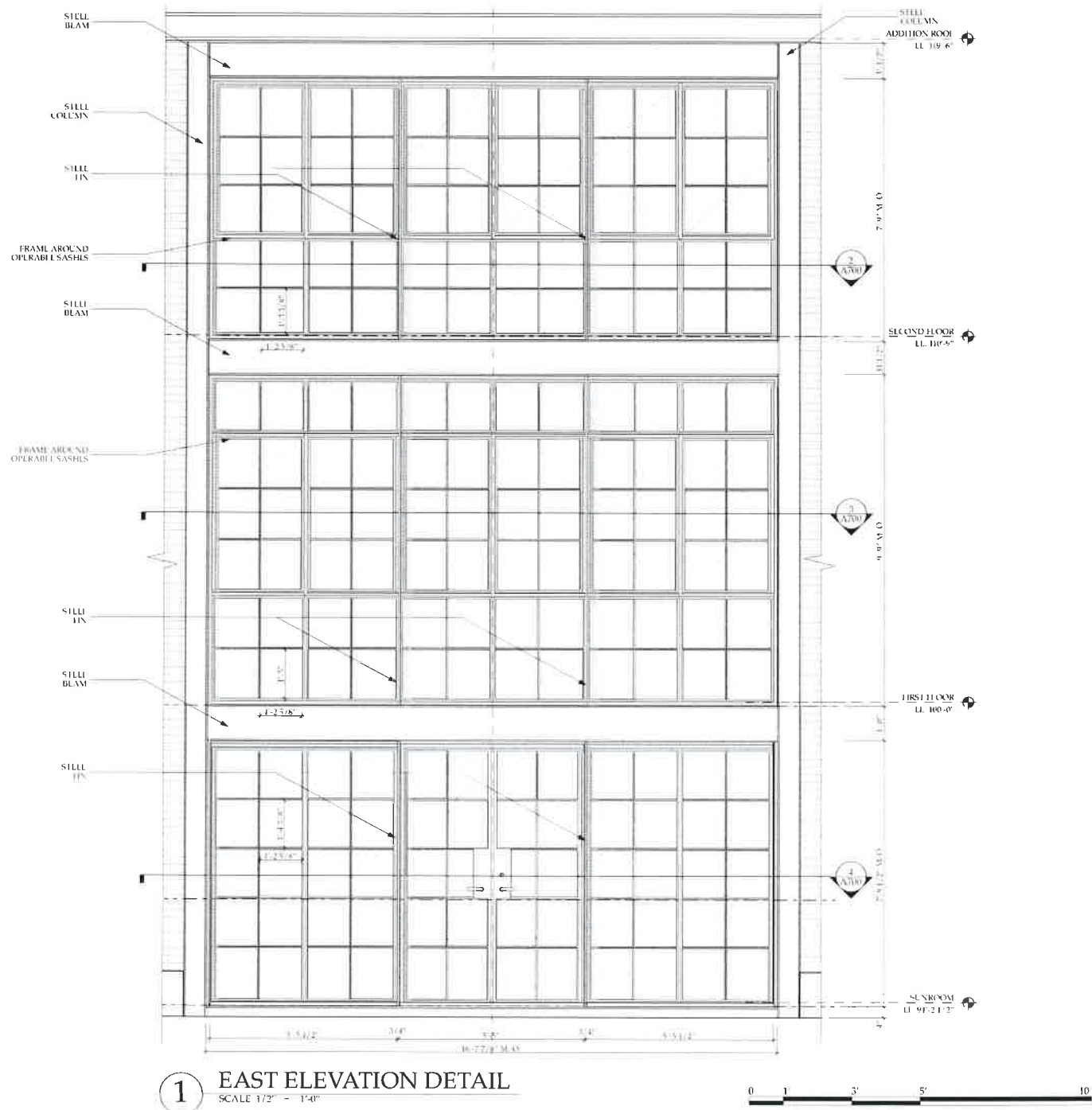
JAMESTOWN175™ SERIES

STEEL WINDOWS AND DOORS

Hope's Jamestown175 Series is ideal for projects requiring oversized windows and doors as well as special operating types such as top hung or pivoting windows. A 20% increase in window section depth and corresponding strength compared to our Landmark175™ Series allows for larger window sizes without the need for extra reinforcing or mullions. This product series can accommodate various glass thicknesses and makeup.

- Hope's Power of 5 Finishing System
- Narrow Sightlines
- Fully Welded Construction
- Energy Efficient
- Square and Tapered Lazing Beams for Interior or Exterior Installations

Fixed Sightline: 1-276"
 Operable Sightline: 1-566"
 Section Depth: 1-314"



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 WASHINGTON, DC 20007
 TEL 202-337-7334
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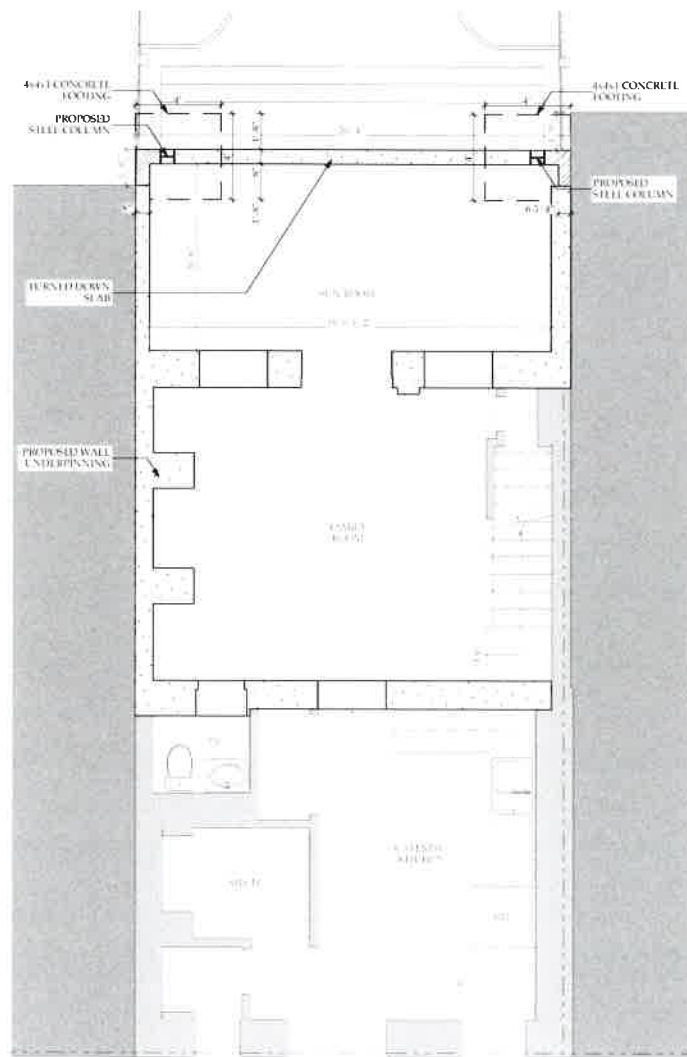
WINDOW AND DOOR DETAILS

SCALE AS NOTED

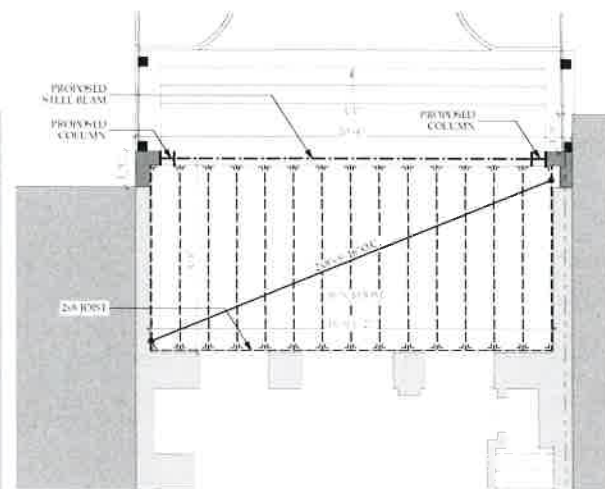
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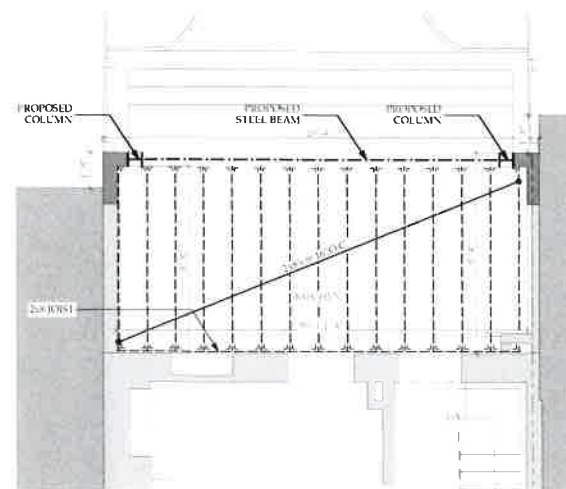
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A700



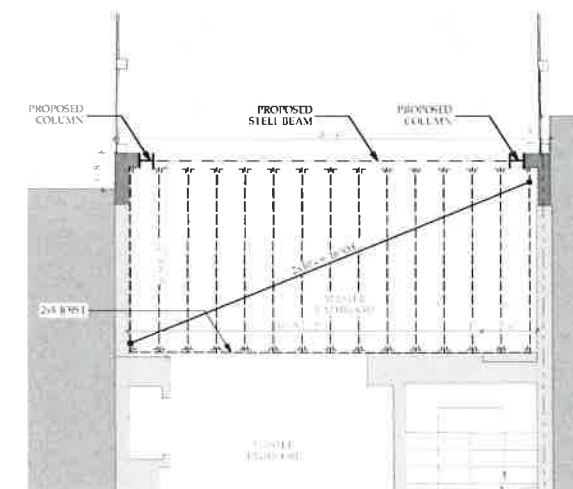
1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



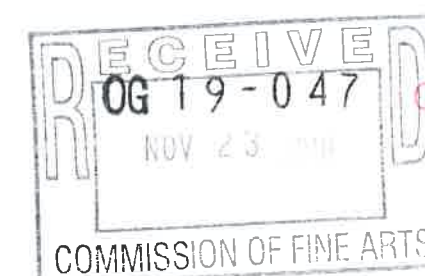
4 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. Design loads:

Roof:	30 psf (snow)
Dead:	10 psf (u.n.o.)
Floors:	40 psf Living areas
	30 psf Sleeping areas
Basic Wind Speed:	90mph, 3 sec gust
Seismic Design:	Category B
2. Design Codes: IRC 2012, IBC 2012 w/ DCMR 12-2013, ASCE/SEI 7-10 where applicable
3. Assumed allowable soil bearing pressure: 1500 psf
4. Assumed equivalent fluid pressure of soil: 45 psf/ft
5. All footings to bear on undisturbed soil and a minimum of 30 inches below finished grade
6. Interior use lumber to be No 2 SPF with $f_b = 875$ psi and $E = 1,300,000$ psi
7. Exterior use lumber to be No 2 SP with $f_b = 1,500$ psi and $E = 1,600,000$ psi and preservative treated in accordance with AWPA Standard U1.
8. Concrete to be 3000 psi hard rock at 28 days
9. Reinforcing steel to be ASTM A615 Grade 60 and placed in accordance with ACI Code
10. Structural steel to be ASTM A36 fabricated in accordance with AISC Standards supplied and installed with one coat of red-oxide primer
11. Contractor to provide fabrication and erection drawings for structural steel. Allow two weeks for review
12. Welding of structural steel to be performed by AWS certified personnel in accordance with AWS D1.1 Code using E70XX rod.
13. All field welds to be cleaned and painted with red-oxide primer.
14. Manufactured lumber design values: $f_b = 2600$ psi and $E = 2,000,000$ psi
15. Wolmanized manufactured lumber design values: $f_b = 1,800$ psi and $E = 1,460,000$ psi under Service level 2
16. All masonry lintels to have a minimum bearing of 4" on both ends. Double angles shall be installed back-to-back unless noted otherwise
17. Window and door headers to be (3) 2x6's unless noted otherwise
18. Joists below non-bearing partitions that equal or exceed 50% of the span shall be doubled
19. Posts supporting sawn lumber beams and headers to be a minimum of (2) 2x4's
20. Posts supporting manufactured lumber beams and headers to be a minimum of (3) 2x4's
21. All truss and rafter ends to be secured to tops of walls/beams with hurricane clips (Simpson H2.5A or approved equal)
22. Appropriately sized joist hangers to be used where joists or rafters frame into beams
23. Masonry mortar to conform to ASTM C270
24. Concrete block manufacture to conform to ASTM C90 with a minimum prism strength of 1500 psi
25. Brick manufacture to conform to ASTM C62
26. Wood exterior walls to be 2x6's @16" on center.

27. Prefabricated truss manufacture and design to conform to ANSI/TPI 1 and WTCA standards. General contractor to provide truss layout plans and shop drawings to structural engineer for review and approval no less than 2 weeks before truss order is due.
28. All sheathing material to be APA-rated for the spans indicated. Minimum sheathing thicknesses required:
 - a. Roofs: 19/32"
 - b. Walls: 15/32"
 - c. Floors: 23/32" STURD-I-FLOOR
29. The use of adjustable, screw-type steel columns is NOT permitted
30. Masonry grout to conform to ASTM C476
31. Tubular steel to conform to ASTM A501
32. All floor joists to have bridging/x-bracing at 7'o.c
33. Bolts for ledger boards to be threaded rod manufactured in accordance with ASTM A36 or F1554 and installed with Powers AC-100+ Gold adhesive. See drawings for bolt diameters, embedments, spacings and locations. Bolts to be installed into solid back up only (either poured concrete, grout-filled CMU or solid brick)
34. Wall bracing shall be continuous sheathed wood structural panels per Section R602.10.4 of IRC 2012. Where wall bracing is insufficient, alternate means shall be provided and engineered per ASCE 7 for the above basic wind speed.
35. The design and installation of any temporary shoring of existing structure is the sole responsibility of the contractor. Temporary shoring may be required in order to support existing structure laterally as well as vertically
36. Contractor to provide helical pile design calculations and shop drawings (to include method of fastening to new foundation) no less than 14 days prior to installation of piles. Design calculations to be stamped by a professional engineer registered in the project jurisdiction. Design and installation of piles to comply with ASCE 20-96 standard guidelines for the design and installation of pile foundations.



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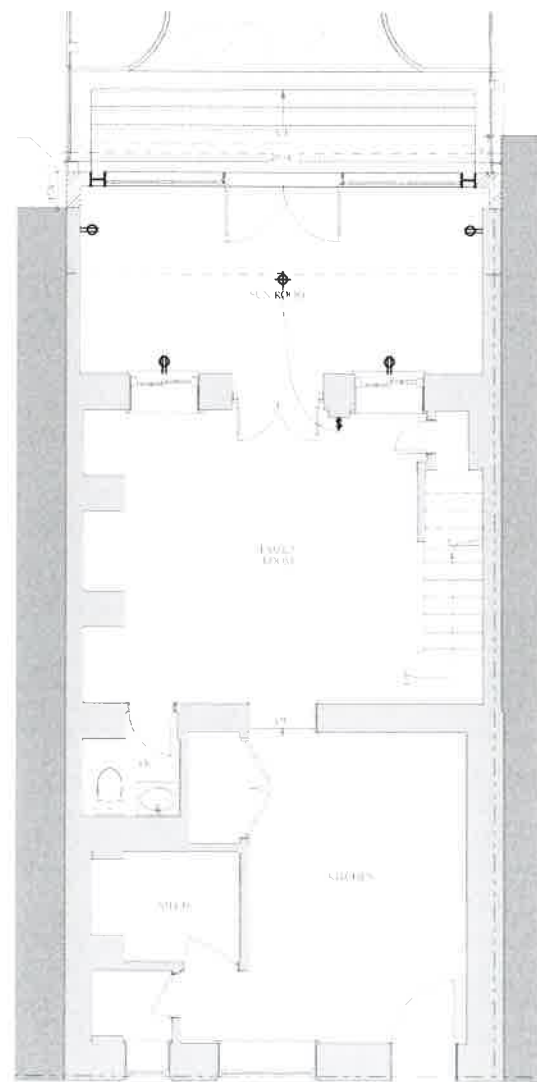
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DRAWING TITLE
STRUCTURAL NOTES AND PLANS
 SCALE AS NOTED

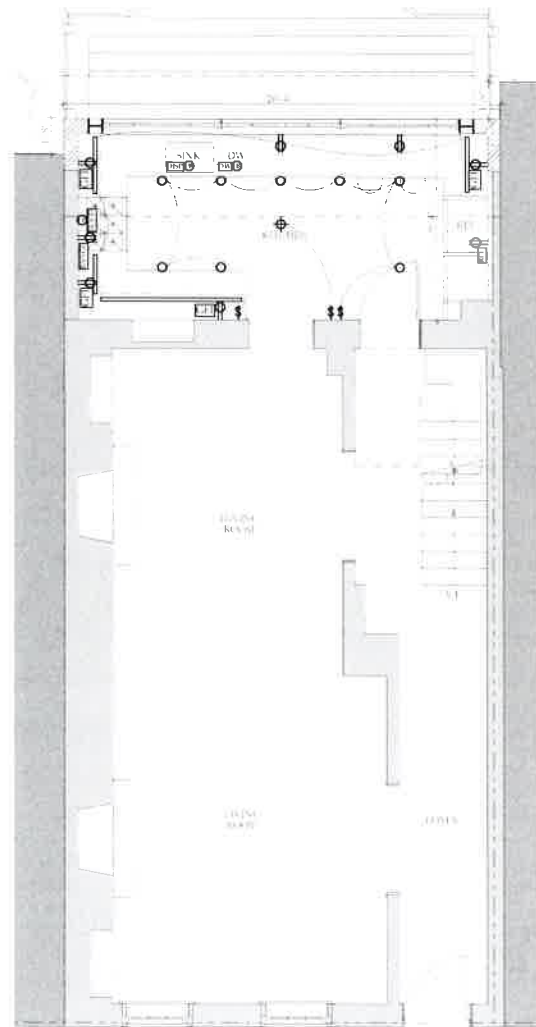
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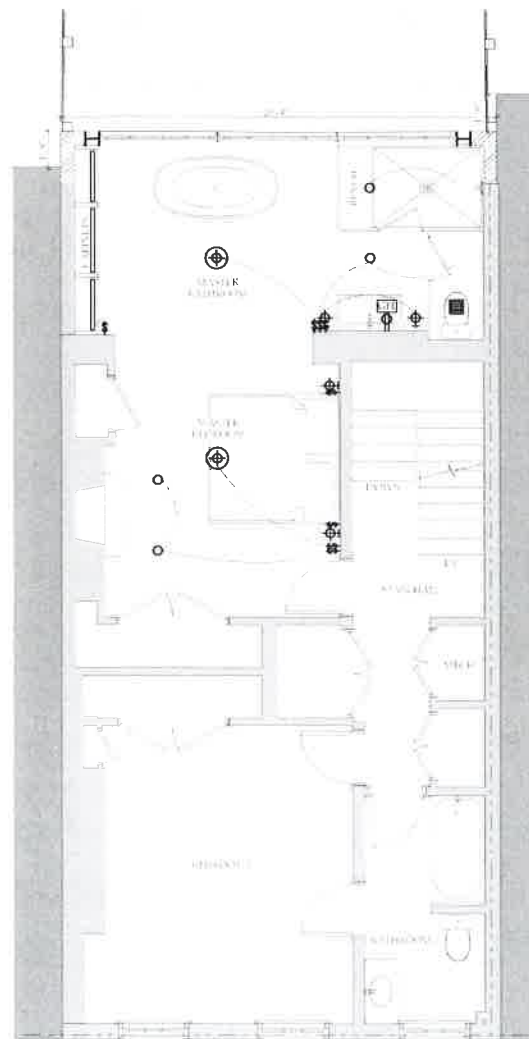
SHEET NO.
S100



1 PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOLS

⊕	DUPLEX FLOOR OUTLET	⊕	3-WIRE INPUT DEVICE
⊖	SINGLE OUTLET	⊕	TRIP POINT JACK
⊕	DUPLEX OUTLET	⊕	FAN JACK
⊕	HAIF SWITCHED OUTLET	⊕	DATA JACK
⊕	DUPLEX OUTLET ON GROUND FAULT INTERRUPT	⊕	ATV-CABLE TV JACK
⊕	QUADPLEX OUTLET ON GROUND FAULT INTERRUPT	⊕	WALL SCUPPER OR BRACKET PER ARCHITECT
⊕	WIRE CORD BEHIND WALL FOR FUTURE USE	⊕	DEGRADED SURFACE FEATURE PER ARCHITECT
⊕	RELEASING CONTROL LOCATION AS SCHEDULED	⊕	RECESSED DOWN LIGHT OR MULTIFIT LIGHT
L1	LAMP BUZZING, COIL AS SCHEDULED	⊕	RECESSED DOWN LIGHT-WALL WASHER
⊕	HARD WIRED JUNCTION	⊕	CONSUMER WASHER
⊕	HARD WIRED SMOKE DETECTOR	⊕	HAIF WALL WASHER
⊕	REMOTE TRANSFORMER AS REQUIRED	⊕	RECESSED FAN OR LOW VOLTAGE STRY LIGHT
⊕	DOOR BELL	⊕	SCOFFLIT
⊕	DECORATIVE PENDANT FEATURE PER ARCHITECT	⊕	THERMOSTAT
⊕	SWING ARM LAMP PER ARCHITECT	⊕	DIAZONEST FAN BY CONTRACTOR
⊕	DOOR CASE LIGHT PER ARCHITECT	⊕	WATER FLOOR

LIGHTING CONTROL SCHEDULE

⊕	SINGLE POLL DECORATIVE SWITCH
⊕	3-WAY SWITCH
⊕	4-WAY SWITCH
⊕	DV-600P SINGLE POLL 600W INCANDESCENT
⊕	DV-603P 3-WAY, 600W INCANDESCENT
⊕	DV-103P 3-WAY, 1000W INCANDESCENT
⊕	DVLI-10P SINGLE 800W LOW VOLTAGE
L1	LDC-17-1CP LAMP BUZZING
L2	LDC-33-1CP

*COLOR TO BE SELECTED BY ARCHITECT. CALL OUT NUMBERS ARE FOR ELECTRICAL EQUIPMENT.

ENERGY NOTE:

LIGHT:
 - All recessed light fixtures per REQ. 4.4, all new recessed light fixtures should comply with infection control lighting (ICL) ratings. No exceptions for low voltage lighting are permitted for this measure as this deals with air quality rather than lighting power itself.
 - No less than 75% of lamps in permanently installed lighting must be high efficiency lamps (LED or shape 10 5W (60 Watt equiv) dimmable light bulbs or a shape 15W (75W equiv) dimmable light bulbs.

OUTLETS:
 Outlets for receptacle rated at 125 volts, 15 and 20 Amperes shall be provided in accordance with sections L901.2 through L901.11 receptacle outlets required by this section shall be in addition to any receptacle that is:
 1. Part of a kitchen or appliance;
 2. Located within cabinets or cupboards;
 3. Controlled by a wall switch in accordance with section L903.2 exception 1 or 4, located over 5.5 feet above floor.
 All receptacle outlets shall be AFCI protected unless otherwise noted.

ALARM:
 Smoke alarms to be installed in accordance to section K314.5.11.31 and K314.4
 - Each sleeping area;
 - Outside each separate sleeping area in the immediate vicinity of the bedrooms;
 - On each additional story of the dwelling including basements and habitable attic;
 - Smoke alarms shall receive their primary power from the building wiring; have battery backup and be interconnected.
 Carbon monoxide alarms to be installed in accordance to section K315.1
 - Installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in the dwelling units within fuel-fired appliances are installed and in dwelling units that have attached garages.

ELECTRICAL PANEL:

NO APPROVED
 COMMISSION OF FINE ARTS

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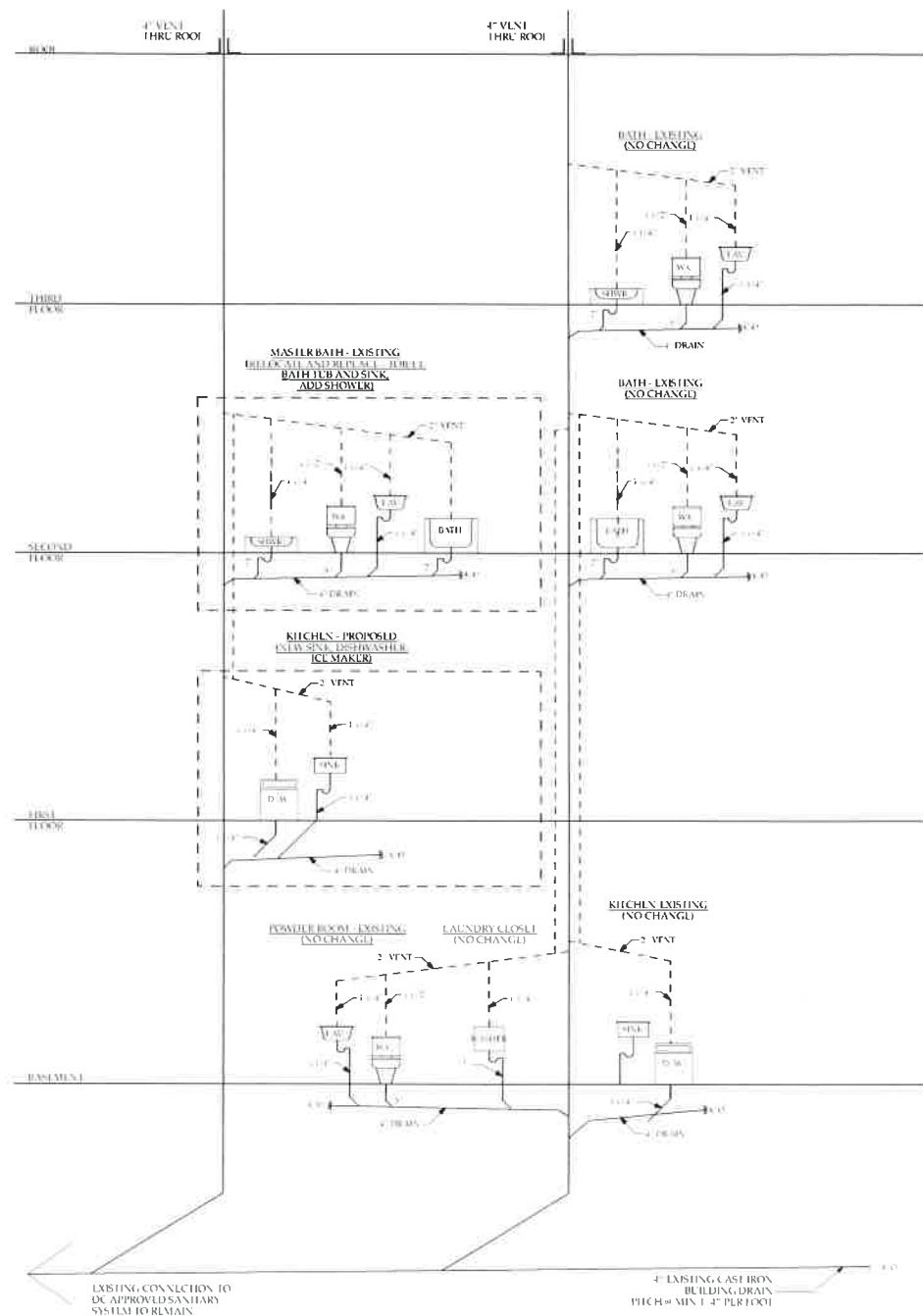
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MECHANICAL AND ELECTRICAL PLANS

SCALE AS NOTED

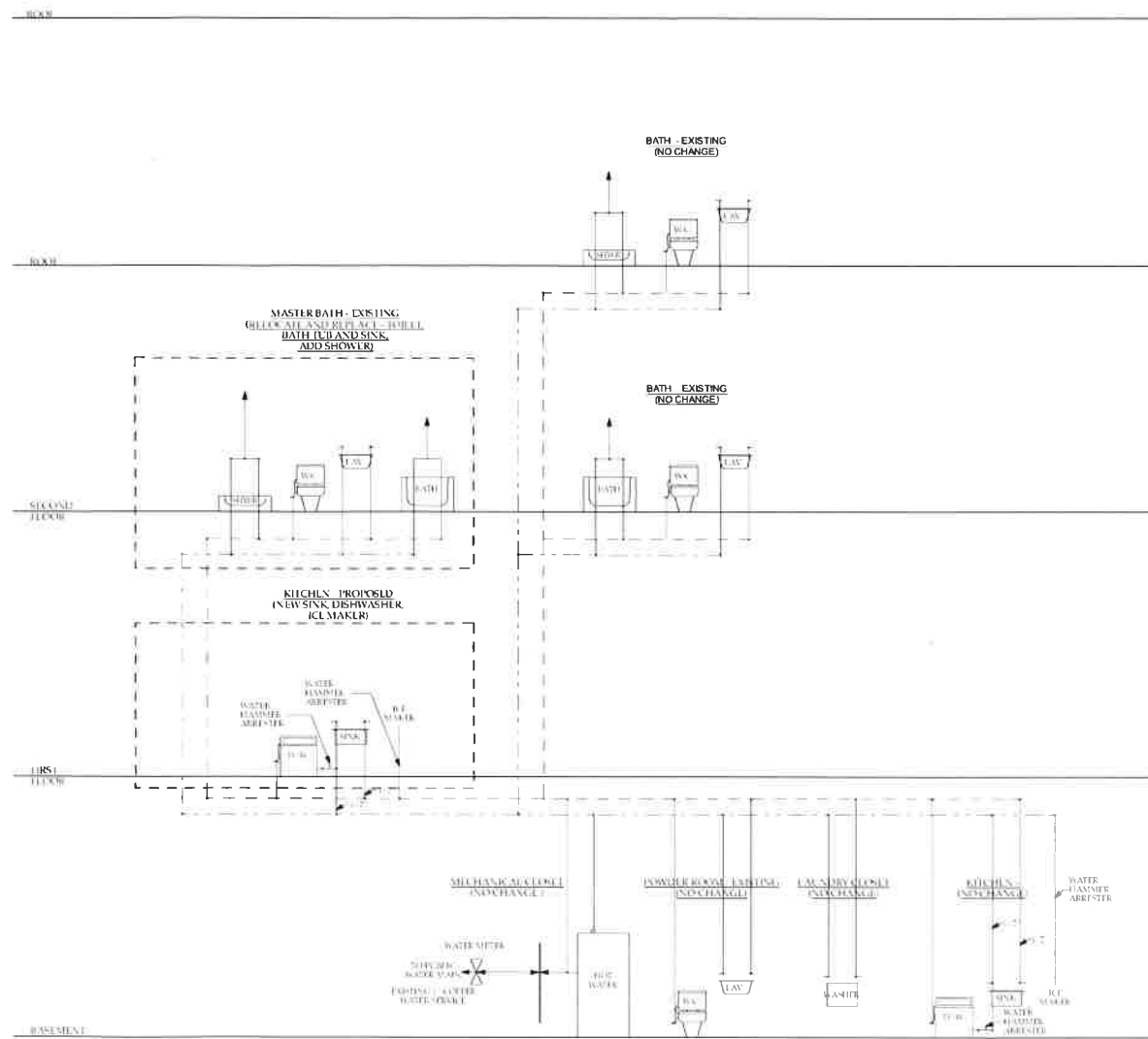
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PERMIT SET	11-12-18

PRINT DATE 11/21/18

SHEET NO
MEP100



1 PLUMBING RISER
SCALE 1/4" = 1'-0"



2 WATER SUPPLY DIAGRAM
SCALE 1/4" = 1'-0"



COLD WATER
HOT WATER

OUTERBRIDGE
HORSEY
ASSOCIATES, PLLC
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WASHINGTON, DC 20007
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DRAWING TITLE
**SANITARY &
DOMESTIC
WATER RISER
DIAGRAMS**
SCALE AS NOTED

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SHEET NO
P100